



BUFFALO POINT



15 Detached Townhomes

www.buffalopointvillas.com

LAKE BOULEVARD B.W

COUNTRY ROAD #35

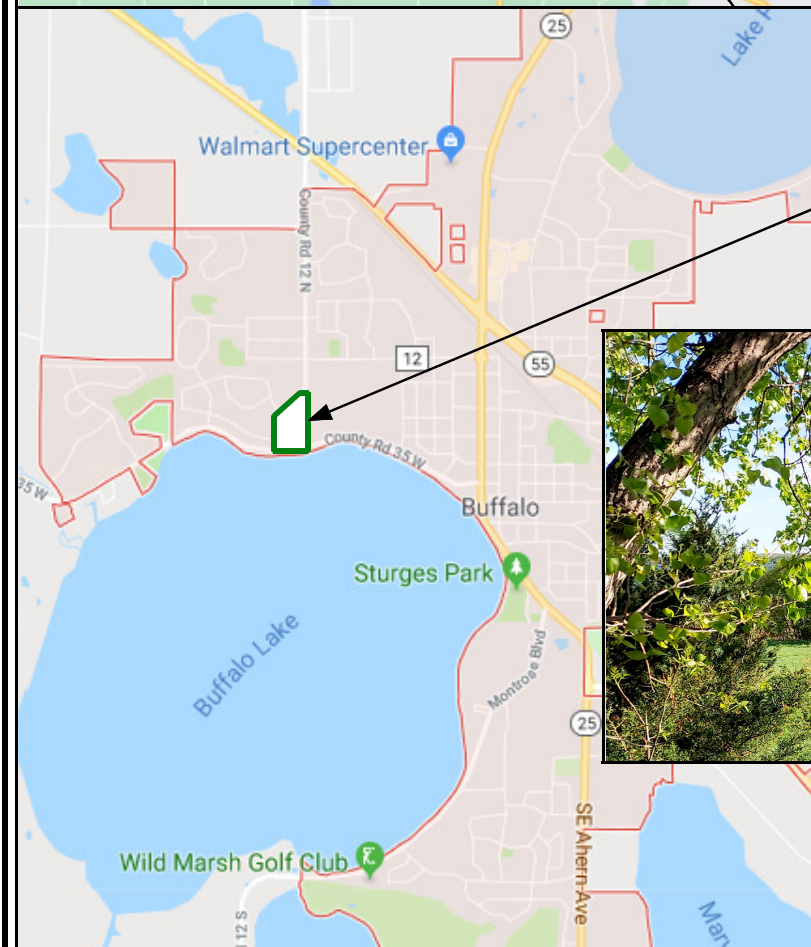
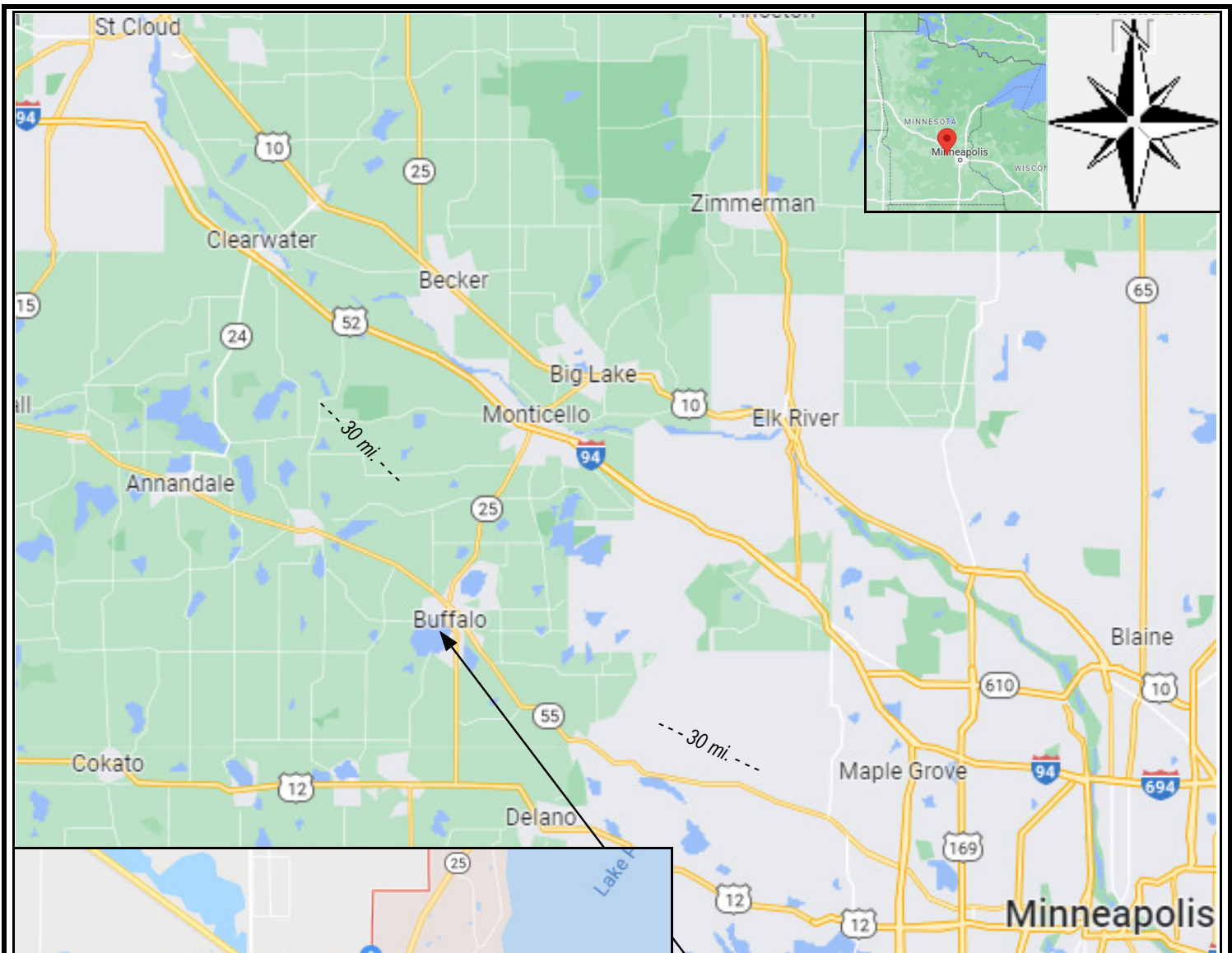
BUFFALO LAKE

BUFFALO POINT DEVELOPMENT

- Buffalo Point is located ½ mile west from downtown Buffalo, a popular weekend shopper and tourist destination. The City of Buffalo is located off Highway 55, 25 miles west of Plymouth, or midway, about 30 miles, between the Twin Cities and St. Cloud.
- Wright County, where Buffalo is located, consists of rolling hills with pasture, woods and farmland. More horse farms per capita are found here than any other county in Minnesota.
- Buffalo Point development is on the hillside overlooking Buffalo Lake. The lake view extends to the south, southeast, and west. From the cedar grove at the top of the hill, the church towers in downtown Buffalo are also visible.
- 15 villa home sites are positioned so that everyone will have a nice view of the lake. These will be higher end homes. The homes on the up-hill (*north*) side of the cul-de-sac, will be a tuck-under style, with a garage at street level and the living room and/or balcony above for the lake view.
- Lake frontage property is included.



Sit in the Adirondack chairs under the shade tree, overlooking the lake, and imagine what it would be like to live here!



BUFFALO POINT 45.1772*N., 93.8889*W.



BUFFALO POINT
Site Locator Map



11-19-2021



01-12-2022



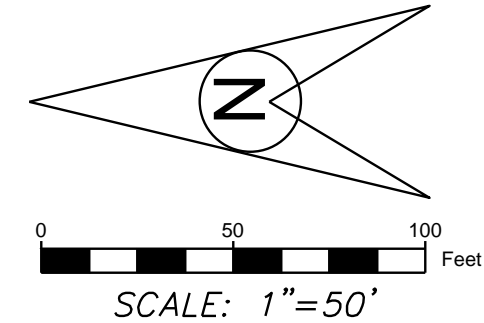
EARTH SCIENCE ASSOCIATES, INC.

37445 Grand Avenue
North Branch, MN 55056 612-718-0413
esa332@gmail.com earthsciencemn.com

**BUFFALO POINT
FALL & WINTER VIEWS**

PRELIMINARY PLAT OF BUFFALO POINT BUFFALO, MN

AUDITORS SUBDIVISION NO. 3



TOTAL PROPERTY AREA = 12.07 ACRES
PID NUMBERS: 103500251121, 103500251123,
& 103147000020

LEGEND

- 988 denotes Existing Contour
- 988.00 X denotes Existing Spot Elevation
- ☐ denotes Cable Box
- ☐ denotes Telephone Pedestal
- ☐ denotes Electrical Pedestal
- ☐ denotes Light Pole
- ☐ denotes Sign
- ☐ denotes Power Pole
- ☐ denotes Water Valve
- ☐ denotes Hydrant
- ☐ denotes Soil Boring (by Haugo GeoTechnical Services, LLC)
- ☐ denotes Sanitary Manhole
- ☐ denotes Storm Manhole
- ☐ denotes Catch Basin
- ☐ denotes Deciduous Tree
- ☐ denotes Coniferous Tree
- ☐ denotes Edge of Woods
- ☐ denotes Sanitary Sewer Line
- ☐ denotes Storm Sewer Line
- ☐ denotes Watermain
- ☐ denotes Delineated Wetland
- ☐ denotes Existing Culvert
- ☐ denotes Building Setback Line
Front (C.S.A.H. No. 12) = 30'
Front (Lori Lane) = 25'
Side Between Buildings = 10'
- ☐ denotes 20' Proposed Wetland Buffer
- ☐ denotes Drainage and Utility Easement

PROPERTY DESCRIPTION:

Outlot A, SERENITY HILLS, Wright County, Minnesota, according to the recorded plat thereof.

AND

That part of Government Lot 1 of Section 25, Township 120, Range 26, Wright County, Minnesota, described as follows:

Commencing at the Northeast corner of said Government Lot 1; thence South along the East line of said Government Lot 1, a distance of 1199.80 feet; thence West at a right angle, a distance of 33.00 feet to the actual point of beginning; thence continue West on the last described course, a distance of 400.00 feet; thence South at a right angle a distance of 508.95 feet to the Northerly right of way line of Wright County Highway No. 35; thence Easterly along said right of way line, a distance of 405.45 feet to a line parallel with and distant 33.00 feet West of the East line of said Government Lot 1; thence North along said parallel line a distance of 450.00 feet to the point of beginning.

AND

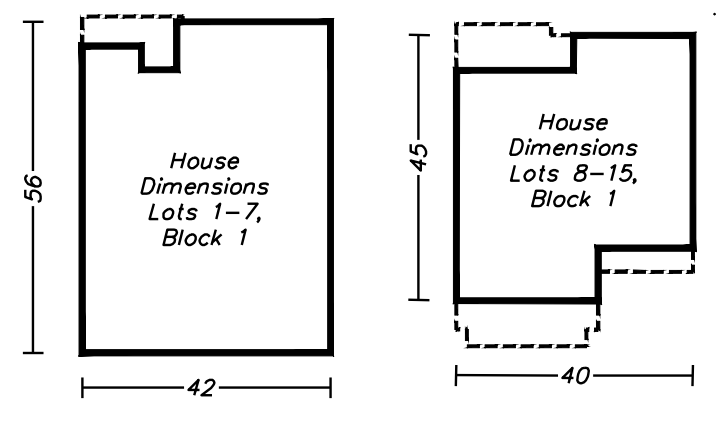
That part of Government Lot 1 of Section 25, Township 120, Range 26, Wright County, Minnesota, described as follows:

Beginning on the East line 1199.80 feet South of the Northeast corner; thence South 00 degrees 26 minutes 28 seconds West along the East line, a distance of 449.57 feet more or less to the Northerly right of way of Wright County Highway 35; thence Westerly along the Northerly right of way line, a distance of 34.35 feet; thence North 00 degrees 26 minutes 28 seconds East, along a line parallel with and 33.00 feet West of the East line, a distance of 459.10 feet; thence South 89 degrees 33 minutes 32 seconds East, a distance of 33.00 feet to the point of beginning.

ALSO

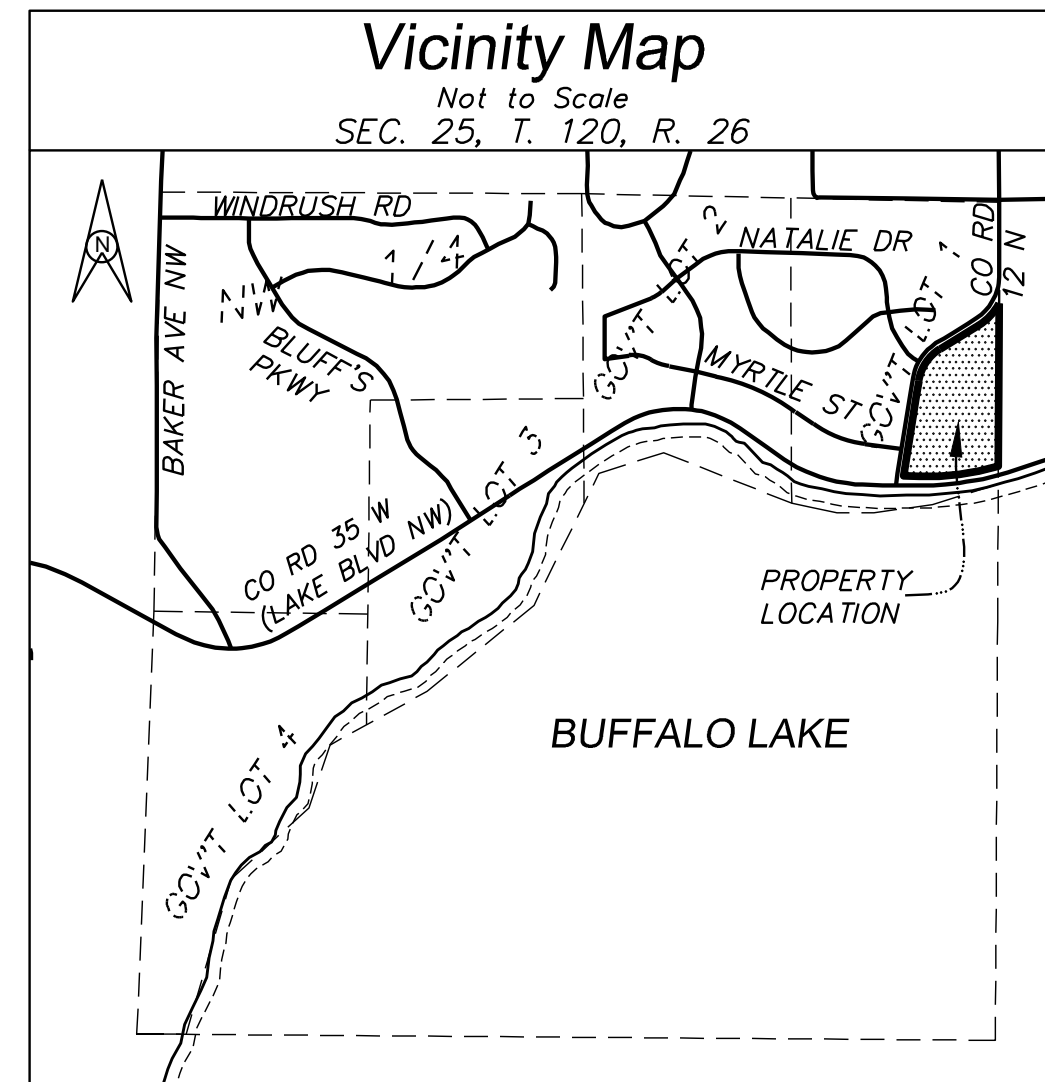
That part of Government Lot 1 of Section 25, Township 120, Range 26, Wright County, Minnesota, described as follows:

Commencing at the Northeast corner of said Government Lot 1; thence South 00 degrees 26 minutes 28 seconds West along the East line, a distance of 1199.80 feet; thence North 89 degrees 33 minutes 32 seconds West, a distance of 433.00 feet to the point of beginning; thence continue North 89 degrees 33 minutes 32 seconds West, a distance of 78.25 feet to the Easterly right of way line of Highway 12; thence South 09 degrees 21 minutes 00 seconds West along the westerly right of way line, a distance of 518.87 feet to the Northerly right of way of Wright County Highway 35; thence Easterly along the Northerly right of way line, a distance of 158.65 feet; thence North 00 degrees 26 minutes 28 seconds East, a distance of 515.68 feet to the point of beginning.



Surveyors Note:

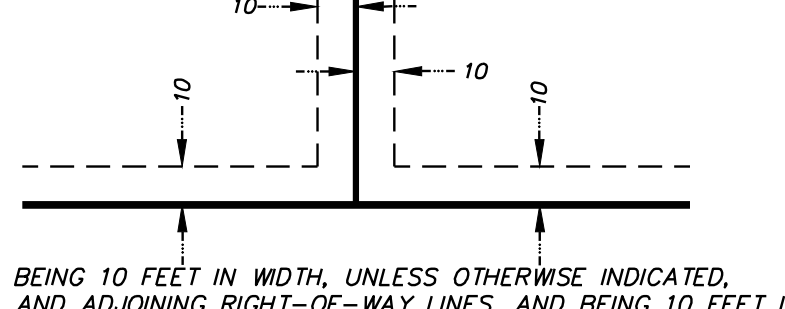
- 1) The Bearings shown on the drawing are based upon the Wright County Coordinate System and differ from the legal description. The angles formed by the bearings are the same.
- 2) Wetlands delineated by others.
- 3) See Otto Associates Certificate of Survey No. 17-0433 for Boundary Survey.



SHEET INDEX

SHEET NO.	DESCRIPTION
1	PRELIMINARY PLAT
2	PRELIMINARY UTILITY PLAN
3	PRELIMINARY STREET PLAN
4	PRELIMINARY GRADING PLAN

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



REV. NO.	DATE	BY	DESCRIPTION
1	4-4-22	T.R.K.	ADJUST LOTS 1-7
2	4-22-22	T.J.B.	REVISE PLANS PER CITY REVIEW

DESIGNED DRAWN
P.E.O. T.J.B.

CHECKED
P.E.O.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul E. Otto
License #40062 Date: 4-22-22

www.ottoassociates.com
9 West Division Street
Buffalo, MN 55313
(763)682-4727
Fax: (763)682-3522

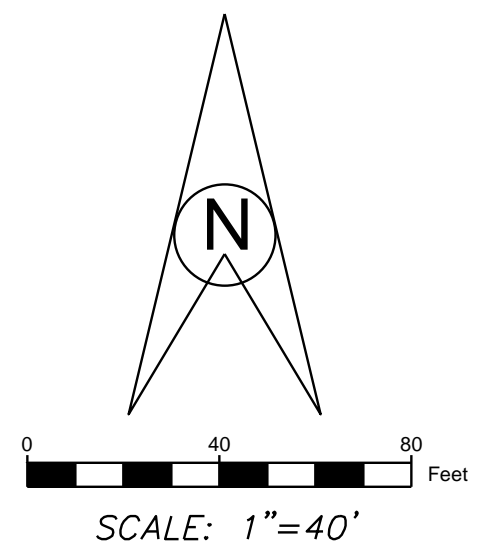
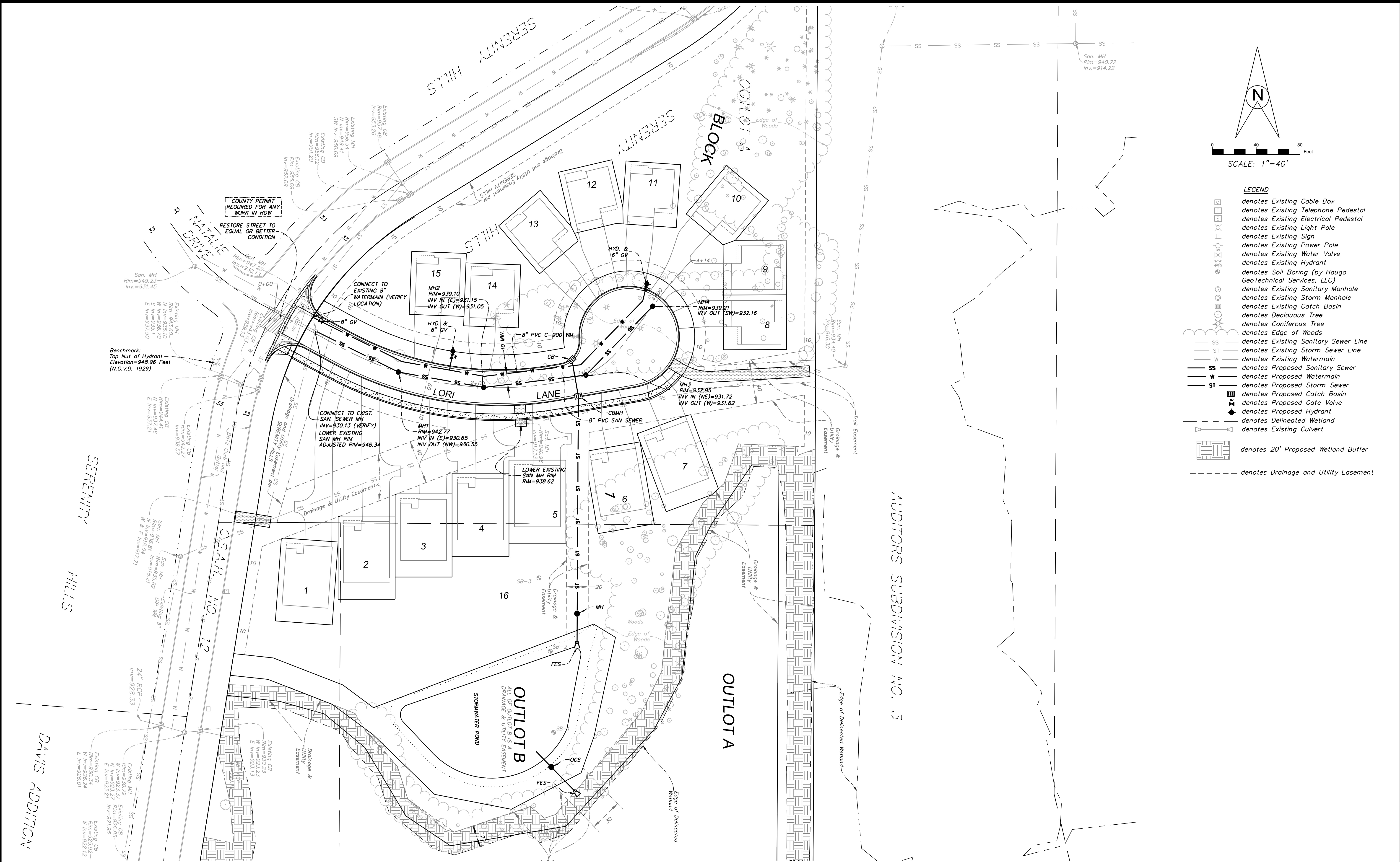
BUFFALO POINT
BUFFALO LAKE VILLAS, LLC / GRAND POINT, LLC
BUFFALO, MN

PRELIMINARY PLAT

SHEET NO. 1 OF 4 SHEETS

PROJECT NO: 21-0533
DATE: 2-18-22

BUFFALO LAKE
Present Shoring
O.H.W.L. According to the MN D.N.R. Elevation = 914.73 Feet (N.G.V.D. 1929)
Top of Water Elevation (12-22-17) = 913.72 Feet (N.G.V.D. 1929)



- LEGEND**
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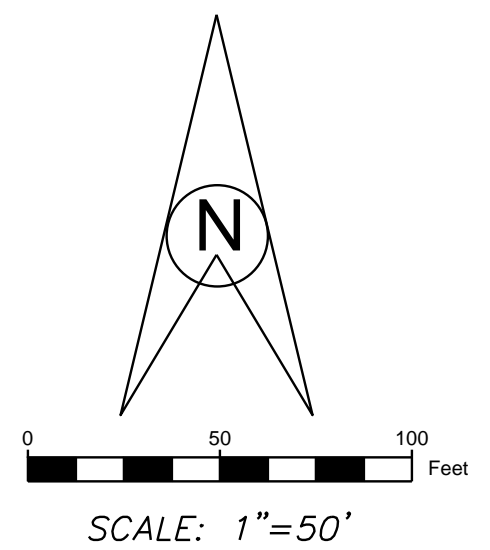
Paul E. Otto
License # 40062 Date: 4-22-22

OTTO ASSOCIATES
Engineers & Land Surveyors, Inc.

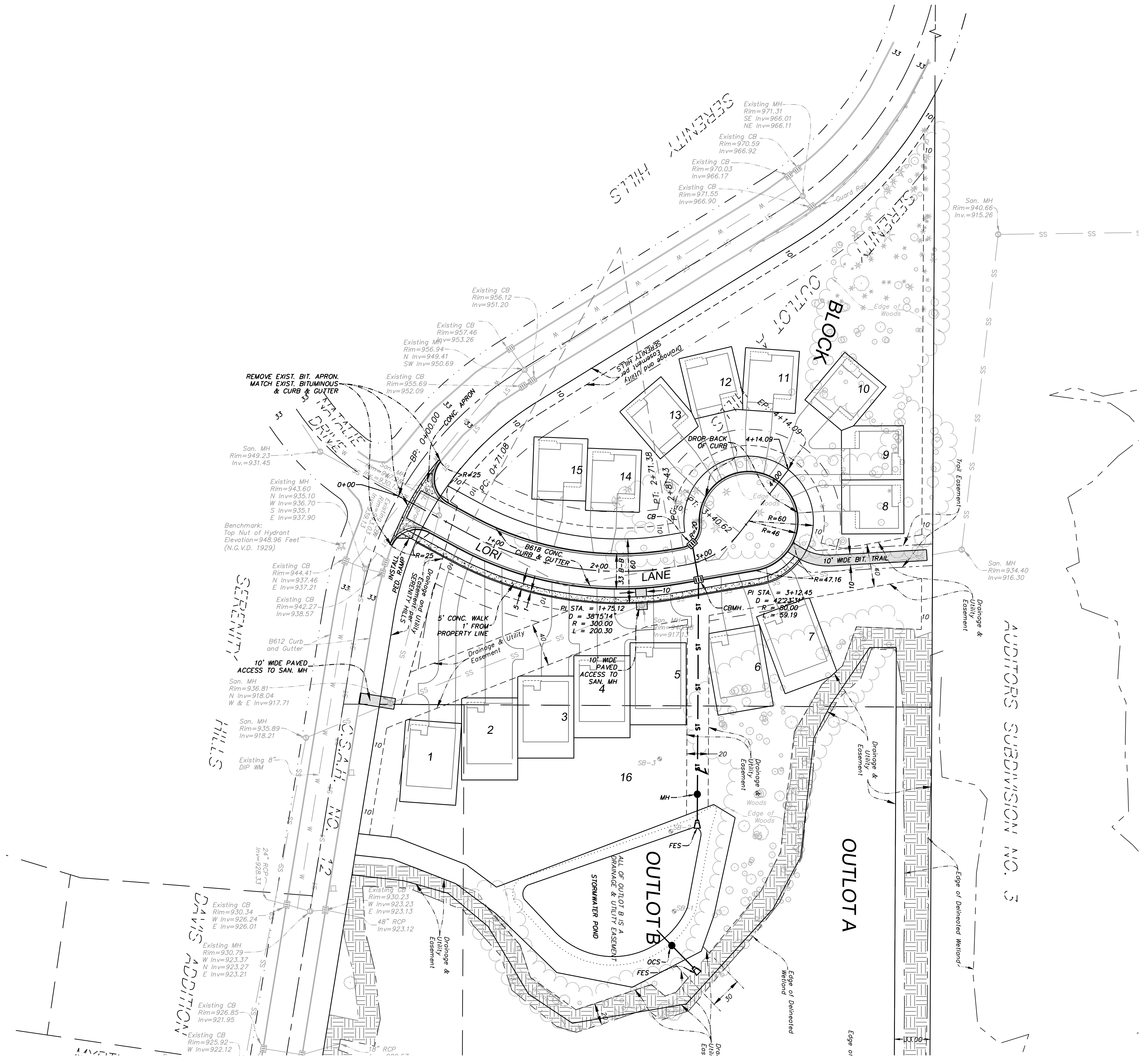
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BUFFALO POINT
BUFFALO LAKE VILLAS, LLC / GRAND POINT, LLC
BUFFALO, MN

PRELIMINARY UTILITY PLAN	PROJECT NO: 21-0533
SHEET NO. 2 OF 4 SHEETS	DATE: 2-18-22



- LEGEND**
- denotes Existing Cable Box
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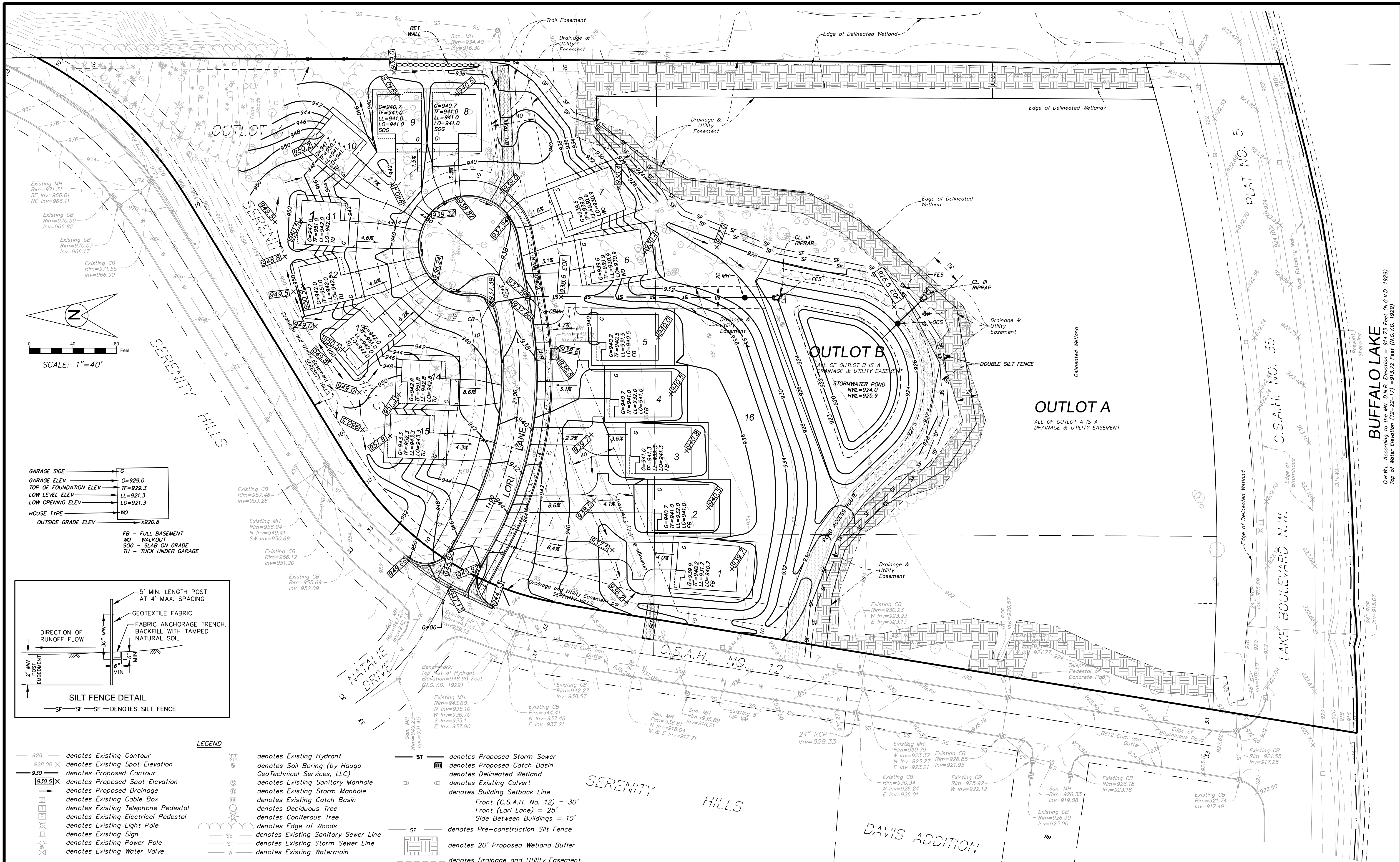
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BUFFALO, MN

PROJECT NO:	21-0533
PRELIMINARY STREET PLAN	
SHEET NO. 3 OF 4 SHEETS	DATE: 2-18-22

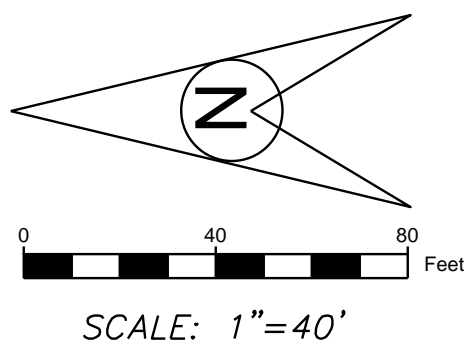


Existing MH
Rim=971.31
SE Inv=966.01
NE Inv=966.11

Existing CB
Rim=970.59
Inv=966.92

Existing CB
Rim=970.03
Inv=966.17

Existing CB
Rim=971.55
Inv=966.90



GARAGE SIDE

G → GARAGE ELEV → G=929.0

TF → TOP OF FOUNDATION ELEV → TF=929.3

LL → LOW LEVEL ELEV → LL=921.3

LO → LOW OPENING ELEV → LO=921.3

WO → HOUSE TYPE

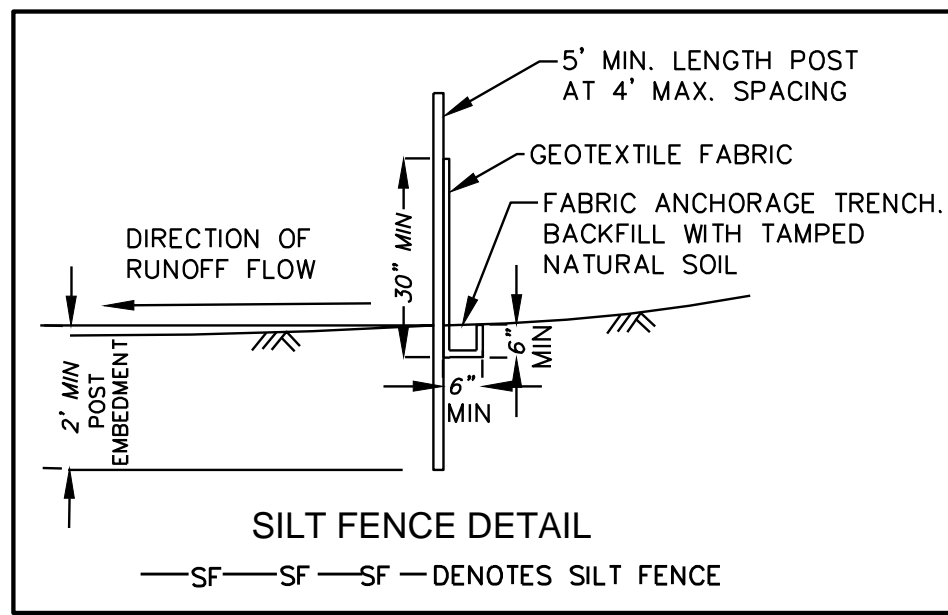
OUTSIDE GRADE ELEV → x920.8

FB → FULL BASEMENT

WO → WALKOUT

SOG → SLAB ON GRADE

TU → TUCK UNDER GARAGE



- LEGEND**
- 928 — denotes Existing Contour
 - 928.00 X denotes Existing Spot Elevation
 - 930 — denotes Proposed Contour
 - 930.5 X denotes Proposed Spot Elevation
 - >— denotes Proposed Drainage
 - denotes Existing Catch Basin
 - denotes Existing Telephone Pedestal
 - denotes Existing Electrical Pedestal
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 - denotes Proposed Catch Basin
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 - denotes Existing Culvert
 - denotes Building Setback Line
 - denotes Pre-construction Silt Fence
 - denotes 20' Proposed Wetland Buffer
 - denotes Drainage and Utility Easement

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BUFFALO POINT
BUFFALO LAKE VILLAS, LLC / GRAND POINT, LLC
BUFFALO, MN

PROJECT NO.	21-0533
DATE	2-18-22
PRELIMINARY GRADING PLAN	
SHEET NO. 4 OF 4 SHEETS	

BUFFALO LAKE
C.H.W.L. According to the M.N. D.N.R. Elevation = 914.73 Feet (N.G.V.D. 1929)
Top of Water Elevation (12-22-17) = 913.72 Feet (N.G.V.D. 1929)



Buffalo Point

BUFFALO, MN

Certification:

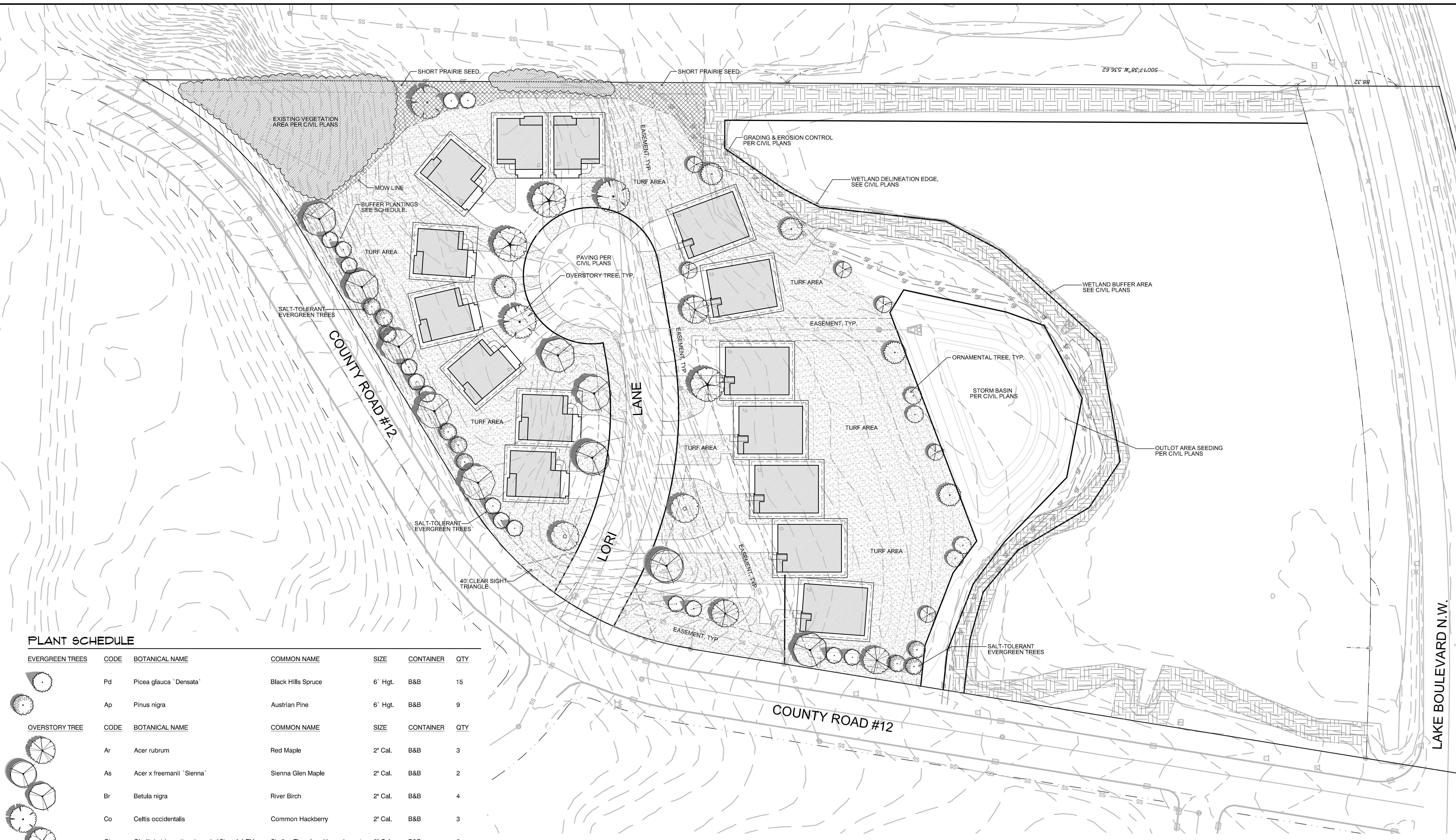
I hereby certify that this plan, specification or report was prepared by me or direct supervision and I am a Licensed Landscape Architect in the State of Minnesota.
Signature: _____
Date: _____ MN License # _____

SCALE: AS NOTED
DATE: 04/27/2022
REVISIONS:

LANDSCAPE PLAN

CITY REVIEW

L1.1



PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Pd	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	15
	Ap	Pinus nigra	Austrian Pine	6' Hgt.	B&B	9
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ar	Acer rubrum	Red Maple	2" Cal.	B&B	3
	As	Acer x freemanii 'Sienna'	Sienna Glen Maple	2" Cal.	B&B	2
	Br	Betula nigra	River Birch	2" Cal.	B&B	4
	Co	Celtis occidentalis	Common Hackberry	2" Cal.	B&B	3
	Gi	Gleditsia triacanthos inermis 'Skycole'™	Skyline Thornless Honey Locust	2" Cal.	B&B	3
	Qr	Quercus rubra	Northern Red Oak	2" Cal.	B&B	4
	Ts	Tilia americana 'Sentry'	Sentry Linden	2" Cal.	B&B	2
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ag	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Hgt.	B&B	6
	Ov	Ostrya virginiana	Ironwood	1.5" Cal.	B&B	5
	Pp2	Prunus pensylvanica	Pin Cherry	1.5" Cal.	B&B	4

TURF AREA
 SHORT PRAIRIE AREA

LANDSCAPE LAYOUT PLAN:

MUNICIPAL LANDSCAPE CALCULATIONS:

Minimum Planting Sizes
Coniferous Trees: 6' Hgt. (2.0" Cal Eq.)
Ornamental Trees: 1.5" Cal.
Shade/Deciduous Island Trees: 1.5" Cal.
Shade/Deciduous Overstory Trees: 2.0" Cal.
Shrubs: 18"-24" Hgt.

City of Buffalo Single and Two-Family Parcels
 Two (2) Overstory Trees Per Home
 Development Trees Required: 30
Development Trees Provided: 30 (53 caliper inches)
Buffer Trees Provided: 30 (60 caliper inches)
Existing Tree Area to be Cleared: .67ac.
Existing Tree Area to Remain: .69 ac.

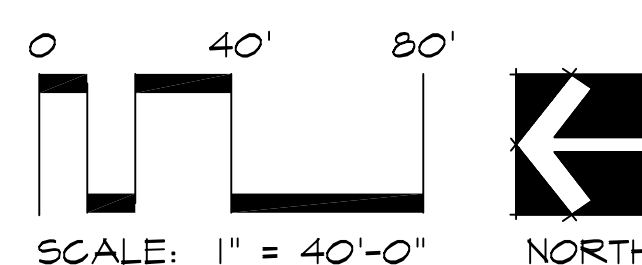
CONIFEROUS TREE DATA:

Plants Tolerant Of Salt

- Evergreens
- Pine, Austrian
- Spruce, Black Hills

GENERAL NOTES:

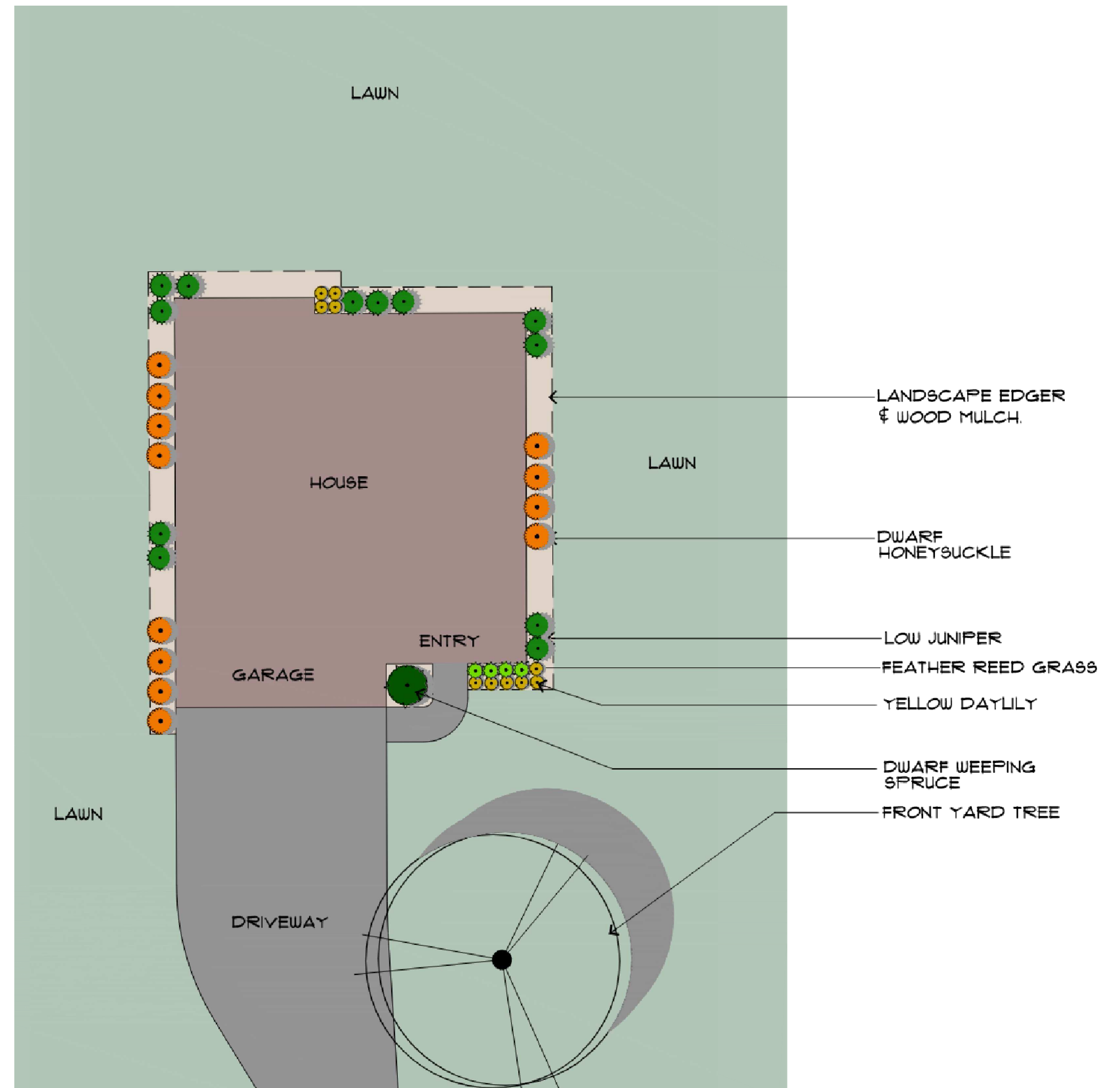
1. Refer to Sheet L1.2 for Details and Notes.
2. Contractor to coordinate work in the city easement or right-of-way with City of Buffalo
3. Protect existing trees to remain from damage during construction.
4. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. Re-use stripped topsoil.
5. Protect existing paving during landscape installation.



LANDSCAPE NOTES:

1. Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. The "Contractor" is the individual or company responsible for performing the work as noted in this plan set. This may be a landscaper, earthwork contractor, or other trade under contract with the Owner or General Contractor.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. This plan assumes the company responsible for installing turf and trees is also responsible for providing the planting soil and "fine grading" in all landscape areas. This also includes clearing, grubbing, excavation, and the import & spreading of planting soil.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance or for 30 days after installation, whichever comes first. This includes watering, mowing, etc. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 25% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. All edger shall be professional grade perforated steel edger, 1/8" thick, Coyote or Equal. Anchor every 18" on-center (minimum). Submit sample. All mulch to be locally-available, single-shred hardwood free of twigs, leaves, and foreign matter. Submit samples of wood and rock mulch for Owner review and final selection.
18. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
19. Irrigation: Landscape contractor shall furnish and install an underground irrigation system for the new turf area shown. Provide head-to-head coverage using commercial grade irrigation products. Coordinate with the Owner regarding water connection point, controller, and wired rain sensor locations. Submit proposed irrigation layout plan to the Owner for review and approval. Coordinate required sleeving under paved areas with the General Contractor and paving sub-contractor.
20. All seed/sod areas shall be prepared prior to planting with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc. Any alternate seed mixtures, rates, & application method noted shall be submitted to the landscape architect for approval.
21. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
22. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the plan, including the stump to 30" below grade.
23. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
24. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
25. The Landscape Contractor shall establish to his/ her satisfaction that the earthwork is complete, topsoil spread to correct depth, and compaction conditions are adequate to allow for proper drainage at and around the building site. Notify the General Contractor immediately if soil conditions left by the earthwork sub-contractor are not satisfactory. No additional compensation will be paid for discrepancies due to earthwork once the landscape contractor begins plant material installation.
26. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.

TYPICAL FOUNDATION LANDSCAPE LAYOUT:



NOTES:

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

FIELD STAKE TREE LOCATIONS FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. INSTALL 6" WHITE PERFORATED FIELD TILE TRUNK GUARDS BY OCTOBER 15.

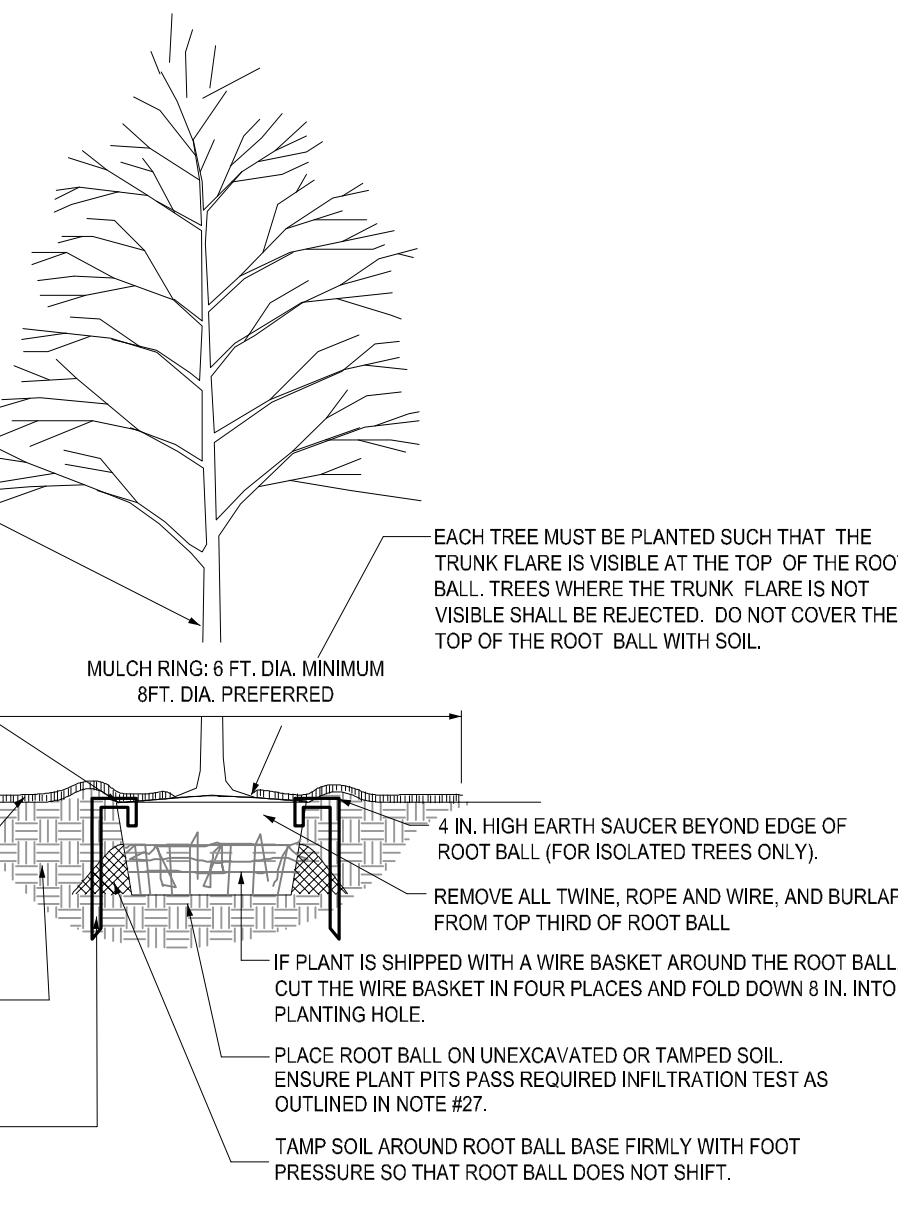
MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 IN. HIGHER IN SLOWLY DRAINING SOILS.

WOOD MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR AFTER PLANTING.

NOTE: FOR DIMENSIONS OF PLANTING AREAS SEE PLAN. SOIL BACKFILL SHALL BE GARDEN BLEND SOIL (EQUAL MIX OF COMPOST, SAND & SOIL.) PER NOTES.

INSTALL TOMAHAWK SUB-SURFACE TREE ROOT BALL STABILIZER HOOKS. MINIMUM OF (2) PER TREE. ABOVE-GRADE STAKES AND GUY WIRES ARE STRICTLY PROHIBITED.



1 DECIDUOUS TREE PLANTING - SECTION
NOT TO SCALE

NOTE:

CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE. NO MULCH TO BE IN CONTACT WITH TRUNK.

PLACE ROOT BALL SO THAT BASAL FLARE IS 1" ABOVE SURROUNDING GRADE.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE TREES ARE IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD.

ROOT BALL TO SIT ON MOUNDED SUBGRADE, REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL

MULCH - 4" DEEP - SEE SPEC.

PLANTING SOIL - SEE SPEC.

TOPSOIL

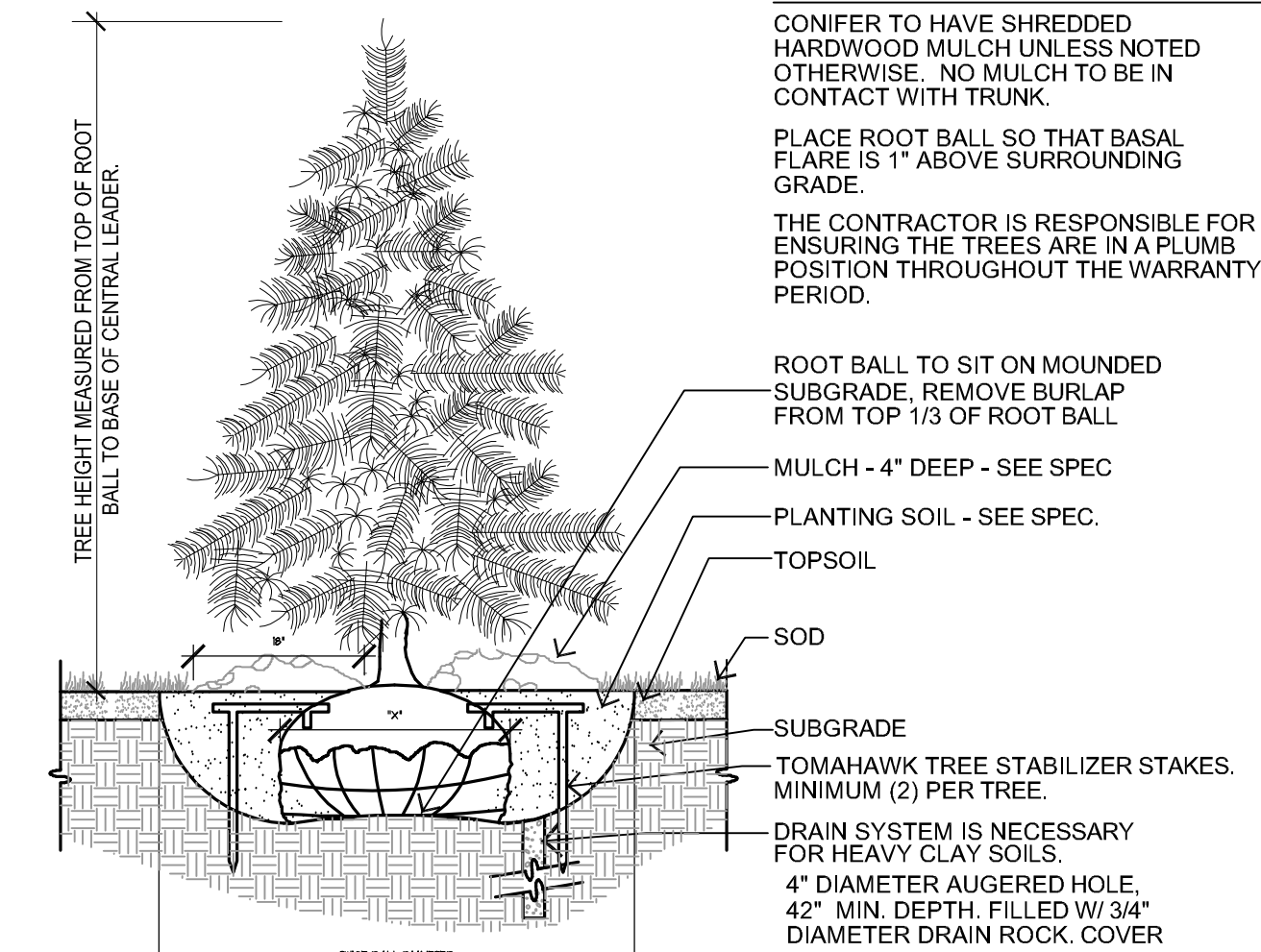
SOD

SUBGRADE

TOMAHAWK TREE STABILIZER STAKES. MINIMUM (2) PER TREE.

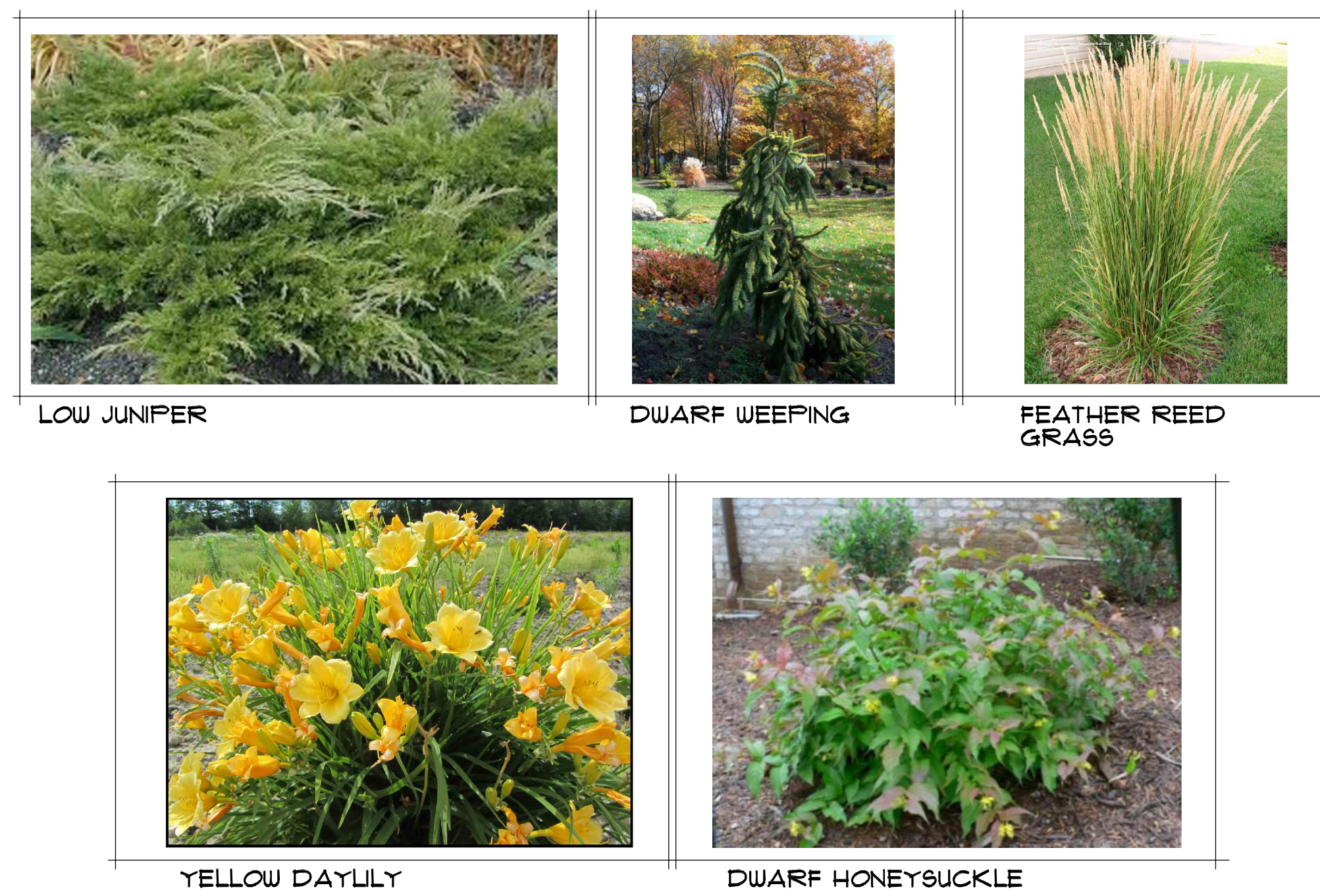
DRAIN SYSTEM IS NECESSARY FOR HEAVY CLAY SOILS.

4" DIAMETER AUGERED HOLE, 42" MIN. DEPTH, FILLED W/ 3/4" DIAMETER DRAIN ROCK. COVER W/ 6" FILTER FABRIC.



2 CONIFEROUS TREE PLANTING - SECTION
NOT TO SCALE

TYPICAL FOUNDATION LANDSCAPE PLANTS:



LOW JUNIPER

DWARF WEEPING

FEATHER REED GRASS

YELLOW DAYLILY

DWARF HONEYSUCKLE

CALYX

DESIGN GROUP
Landscape Architecture
Urban Design
Planning

475 Cleveland Avenue N | Suite 101A
St. Paul, MN 55104

Telephone: 651.788.9018
Internet: www.calyxdesigngroup.com



Buffalo Point

BUFFALO, MN

Certification:

I hereby certify that this plan, specification, or report was prepared by me, or direct supervision and the Licensed Landscape Architect under the laws of the State of Minnesota.
Signature: _____
Date: _____ MN License # _____

SCALE: AS NOTED

DATE: 04/27/2022

REVISIONS:

LANDSCAPE DETAILS

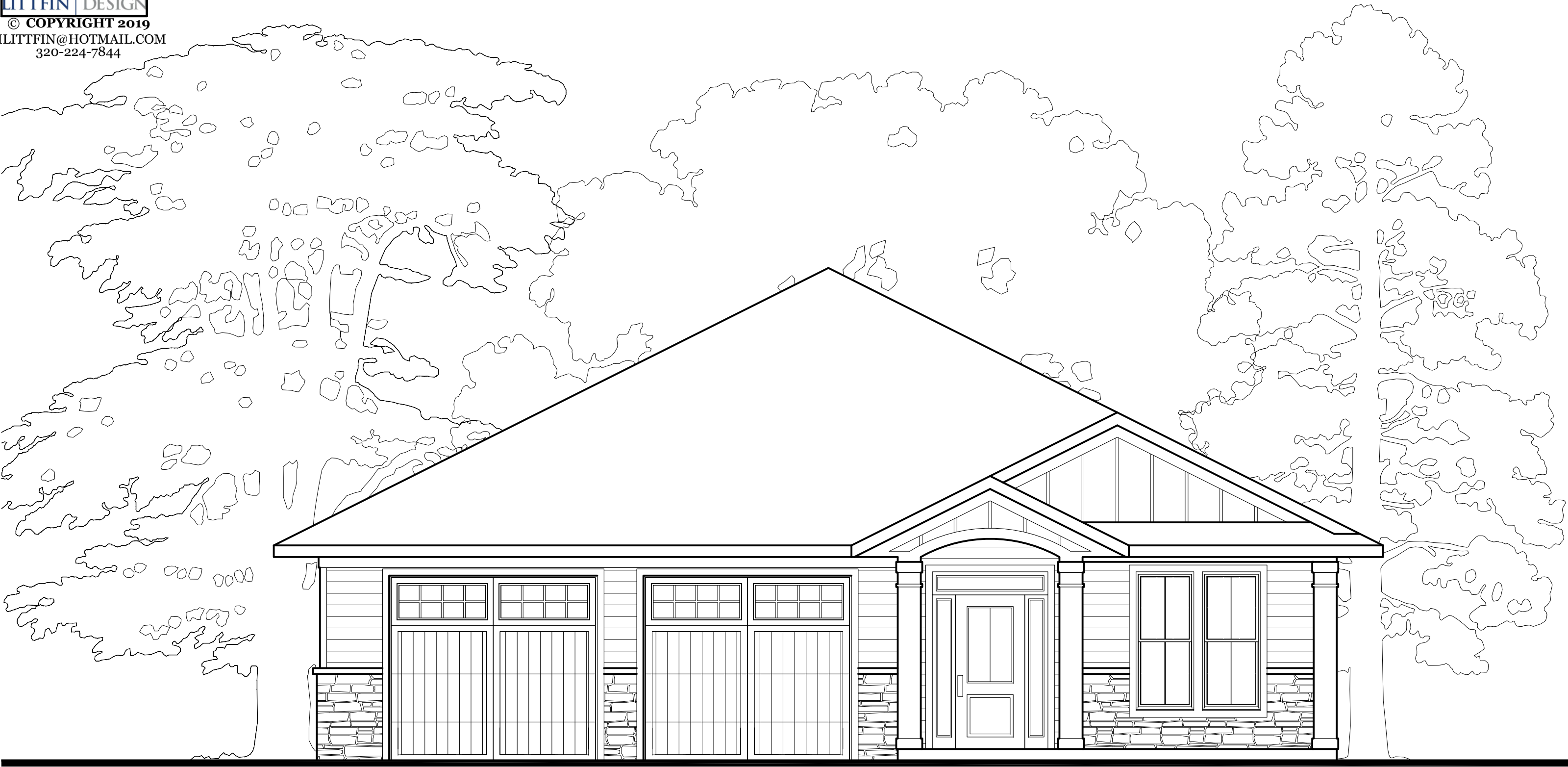
CITY REVIEW

L1.2





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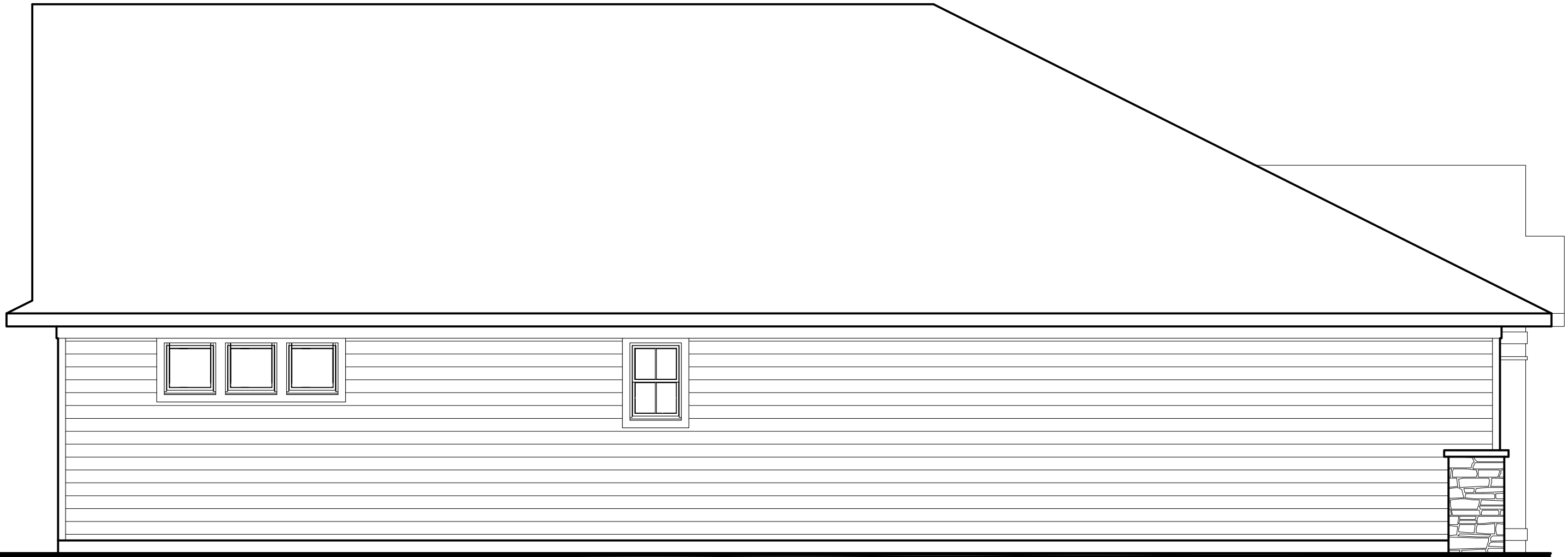


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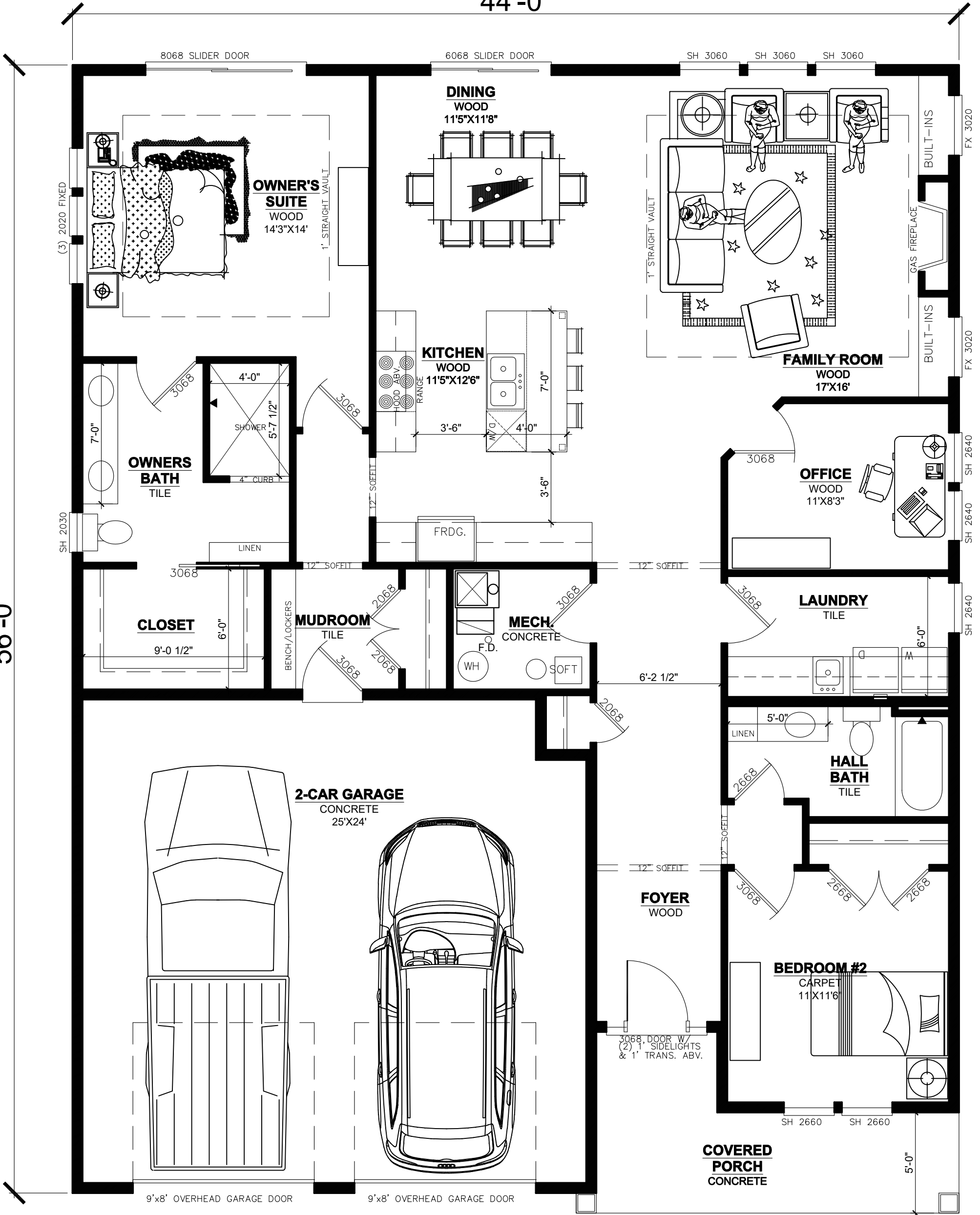




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44'-0"

56'-0"



NOTE:
WINDOWS AND DOORS ARE NOTED IN FEET AND INCHES.
FOR INSTANCE:
WINDOW: DH3050 EQUALS DOUBLE HUNG 3'0"X5'0"
FX2020 EQUALS FIXED 2'0"X2'0"

DOOR: 2868 EQUALS 2'8" WIDE BY 6'8" TALL
2880 EQUALS 2'8" WIDE BY 8'0" TALL

1 PROPOSED FIRST FLOOR
1748 FINISHED SQUARE FEET

Exterior

Roof: 6/12 pitch, hipped or gable roofs (or combination)

Roof: Architectural shingles (*same manufacturer/design, 3-4 colors*)

Floor: Slab-on-grade (*shown*) or ½ basement

Floor: Tuck-under garage option (*bedroom above double garage, facing Buffalo Lake*)

Floor: Walk-out option (*same as ½ basement, but with full basement*)

Siding: Wood-grain horizontal lap / shake siding on front elevations (*3-4 colors*)

Siding: Vinyl / Aluminum/Steel for sides / rear (*3-4 colors*)

Soffit: Aluminum soffit (*white, or, color to match siding*)

Garage: 24' x 24' (approximate), insulated (*with possible floor drain*)

Landscaped yard (*one front yard tree, multiple shrubs on house perimeter*)

Garage Doors: Insulated, door opener with controls

Front elevations: Lap / Shake siding (*or, similar*)

Other elevations: Vinyl / Aluminum / Steel siding

Front elevations: Cultured stone front (*option*)

Front elevations: Concrete stoop

High-quality, insulated windows

Asphalt drive (*concrete optional*), concrete garage door apron

Landscaped yard (*tree, shrubs*)